



THOMAS J. EVANS  
Director of Revenue and Finance

CODE ENFORCEMENT DEPT.

DAVID BERRY  
Construction Official  
Zoning Official

## TOWNSHIP OF NUTLEY

1 KENNEDY DRIVE  
NUTLEY, NEW JERSEY 07110

BUILDING  
PLUMBING  
ELECTRICAL  
FIRE  
ZONING

TELEPHONE: (973) 284-4957 · FACSIMILE: (973) 284-0071

April 22, 2020

Mr. & Mrs. Billings  
26 Villa Place  
Nutley, NJ 07110

RE: Addition/Covered Rear Porch/Rebuild Garage  
26 Villa Place  
Block/Lot: 3904/10

Dear Mr. & Mrs. Billings:

Your request for a permit, at the above referenced premises, to construct an addition, a covered rear porch, and to rebuild the existing one car garage on the existing footprint, as shown on the plans prepared by Architect, William G. Brown, dated March 30, 2020, is denied for the following reasons:

This property is located in an R-1 district as shown on the Nutley Zoning Map.

Chapter 700, Article VIII, Section 700-46 A of the Codes of Nutley entitled "*Schedule of Regulations as to Bulk, Height and Other Requirements*" requires in an R-1 district to have the following:

	<u>Required</u>	<u>Proposed</u>
Front Yard	25'	14.5'
Side Yard	6'	3.4'
Maximum Lot Coverage	35%	37.40%

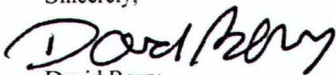
Chapter 700, Article XI, Section 700-67 B (1) of the Codes of Nutley states no detached accessory building or accessory use shall be located nearer than three feet or 1/2 the height of such building up to a distance of six feet, whichever is greater, to a side or rear lot line. *The existing footprint of the garage has a three (3) feet side and rear yard setback.*

A non-refundable filing fee of \$175.00 in connection with your appeal is to be paid to the Code Enforcement Office in order to begin the application process. All tax and water bills must be paid to date prior to the processing of a variance fee.

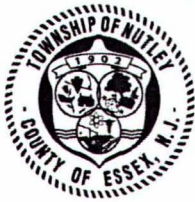
Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from Antonette DeBlasio, at (973) 284-4957. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than twenty (20) calendar days from the date of this notice.

Any changes to the proposed plans must be submitted prior the applications being returned to the Code Enforcement Office. No changes can be made once the application is received by this office.

Sincerely,

  
David Berry  
Zoning Official

DB/adh



# TOWNSHIP OF NUTLEY, NEW JERSEY

## ZONING BOARD OF ADJUSTMENT APPLICATION FORM

Docket No: ZBA-20-0015

TO ALL APPLICANTS: This application form is designed to obtain from your information necessary for the processing of your application by the Zoning Board of Adjustment.

Application Fee: \$ 175.00 (on denial letter)

Date of Denial Letter: 4/27/2020

### Section I: SUBJECT PROPERTY

Address: 26 Villa Place

Block: 3904 Lot: 10 Zone: R1

	District Requirements	Proposed <input checked="" type="checkbox"/>
Lot Area	<u>5000</u>	<u>5000</u>
Lot Width	<u>50'</u>	<u>50'</u>
Lot Depth	<u>100'</u>	<u>100'</u>
Front Yard	<u>25'</u>	<u>14.5' pre-existing</u>
Side Yard	<u>6'</u>	<u>2.7' left side-pre-existing</u>
Rear Yard	<u>30'</u>	<u>56.5'</u>
Other	<u>6'</u>	<u>3' for GARAGE right side and rear-pre-existing</u>

### Section II: APPLICANT INFORMATION

Name: B & C Capital LLC / Alma Billings / Sole owner

Address: 94 Soles Ave  
Clifton, NJ 07012

Telephone: 973-816-7575

Email Address: alma.billings@gmail.com

Applicant is a:

☐ Corporation ☐ Partnership ☒ LLC ☐ Individual

*If the owner is not the applicant, the following must be provided:*

Owner Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email Address: \_\_\_\_\_

### **Section III: DISCLOSURE STATEMENT**

Pursuant to N.J.S. 40:55D-48.1 the names and address of all persons owning 10% of the stock in a corporation or a 10% interest in any partnership must disclosed by the applicant. In accordance with N.J.S. 40:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest.

Name: W/A \_\_\_\_\_

Address: \_\_\_\_\_

Interest: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Interest: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Interest: \_\_\_\_\_

### **Section IV: PROPERTY INFORMATION**

	Existing	Proposed
Total existing and total proposed dwelling units	<u>1</u>	<u>1</u>
Total existing and total proposed professional offices	<u>-</u>	<u>-</u>
Total existing and total proposed parking spaces	<u>-</u>	<u>-</u>



Present use of premises:

One Family Dwelling

Has there been any previous appeal, request, or application to this or any other Township of Nutley Board or the Construction Code Official involving these premises? NO

If yes, state the nature, date and the disposition of each such matter: \_\_\_\_\_

**Section V: PROFESSIONAL INFORMATION**

***Applicant's Attorney***

Name:

Scott Itzkowitz Esq.

Address:

115 Rt 46, Suite C-19

Mountain Lakes, NJ 07046

Telephone:

973-331-9922

Fax:

973-331-9947

Email Address:

itzlawny@gmail.com

***Applicant's Architect***

Name:

William G Brown Architects

Address:

241 Madison Ave

Wyckoff, NJ 07481

Telephone:

201-891-3285

Fax:

201-891-3695

Email Address:

bill@williamgbrown.com

***Applicant's Engineer***

Name:

N/A

Address:

Telephone:

Fax:

Email Address:

***Applicant's Planning Consultant***

Name: Self - owner / Alma Billings  
Address: 94 Sicks Ave, Clayton NJ  
Telephone: 973-816-7575 Fax: 973-689-9554  
Email Address: alma.billings@gmail.com

***List any other expert who will submit a report or who will testify for the applicant.  
(Attach additional sheets, if necessary)***

Name: N/A  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email Address: \_\_\_\_\_ Field of Expertise: \_\_\_\_\_

**Section VI: GENERAL INFORMATION**

In the space below, state the nature of the constraints imposed by the physical characteristics of the land under consideration (i.e. exceptional narrowness, shallowness or topographic conditions).

narrow lot, pre-existing left side of  
house, front and garage setbacks.

In the space below, state any other extraordinary or exceptional situation or condition of the land involved which would constrain development in accordance with Zoning Regulations

We are asking to approve pre-existing front,  
left side and garage location setbacks  
for adding a second level.

Explain how not granting this variance request would impose peculiar and exceptional practical difficulties or exceptional or undue hardship upon you.

This home has proximity left side of house, front and garage location setbacks, if we can't get this approved this would have to stay as 2 Bedroom home. The proposed home would be a great improvement to neighborhood.

Explain how the granting of this variance will not detrimentally affect the public good or substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance.

This project would be a great improvement to the neighborhood.



**CERTIFICATION**

STATE OF NEW JERSEY }

COUNTY OF ESSEX }

ss.

Alma Billings, being duly sworn, hereby certify (check one)

➤ ✓ that I am the applicant

or

➤ ✓ that I am the Owner of B & C Capital LLC  
(Title) (Company Name)

the Applicant, and that I am duly empowered and authorized to make this representation

on behalf of B & C Capital LLC  
(Company Name)

and that the information presented in this application is true, complete and accurate.

Alma

Applicant/Applicant's Authorized  
Officer or Representative

Subscribed and sworn to before me  
this 27th day of May, 2020

[Signature]  
Signature of person authorized to take oaths

Federico A Sanchez  
Notary Public  
New Jersey

Commission Expires 12-10-2023

No. 50005139



## Nutley

### Parcel Offset List

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Target Parcel(s): Block-Lot: 3904-10  
WILMINGTON SAVINGS F,  
26 VILLA PLACE

40 parcels fall within 200 feet of this parcel(s).

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Block-Lot: 3905-16  
BOBIS, IRLENE H  
15 VILLA PL  
NUTLEY, NJ 07110  
RE: 15 VILLA PLACE

Block-Lot: 3905-13  
PIRES, ANTONIO S.  
21 VILLA PLACE  
NUTLEY, NJ 07110  
RE: 21 VILLA PLACE

Block-Lot: 3800-29  
GREENGROVE, ROBIN A.  
42 HETHERINGTON RD  
NUTLEY, NJ 07110  
RE: 42 HETHERINGTON ROAD

Block-Lot: 3904-8  
GRANDE, PATSY W. & JANET  
22 VILLA PL  
NUTLEY, NJ 07110  
RE: 22 VILLA PLACE

Block-Lot: 3800-2  
RODRIGUEZ, R. & L.(LIFE EST) ETALS  
50 HETHERINGTON RD  
NUTLEY, NJ 07110  
RE: 50 HETHERINGTON ROAD

Block-Lot: 3904-9  
NATALE, WILLIAM L. & ANGELA MARIE  
24 VILLA PL  
NUTLEY, NJ 07110  
RE: 24 VILLA PLACE

Block-Lot: 3800-30  
MAHONEY, CAROL  
46 HETHERINGTON RD  
NUTLEY, NJ 07110  
RE: 46 HETHERINGTON ROAD

Block-Lot: 3905-12  
CASTLES, SUSAN & WYNN, MICHAEL  
25 VILLA PL  
NUTLEY, NJ 07110  
RE: 25 VILLA PLACE

Block-Lot: 3905-14  
SANTIAGO, EMAUS & TZAKIS, ANGELA  
19 VILLA PL  
NUTLEY, NJ 07110  
RE: 19 VILLA PLACE

Block-Lot: 3905-15  
ROMERO, IVELISE & HERRERA  
17 VILLA PL  
NUTLEY, NJ 07110  
RE: 17 VILLA PLACE

Block-Lot: 3904-7  
RODAS, WILLIAM & ALMA  
20 VILLA PL  
NUTLEY, NJ 07110  
RE: 20 VILLA PLACE

Block-Lot: 3904-6  
SPADA, STEPHANIE L.  
18 VILLA PL  
NUTLEY, NJ 07110  
RE: 18 VILLA PLACE



Block-Lot: 3800-31  
LETTIERI, MARY M & JONATHAN C  
49 HETHERINGTON RD  
NUTLEY, NJ 07110  
RE: 49 HETHERINGTON ROAD

Block-Lot: 3904-5  
DIGIACOMO, JOHN  
16 VILLA PL  
NUTLEY, NJ 07110  
RE: 16 VILLA PLACE

Block-Lot: 3904-3  
TOWNSHIP OF NUTLEY  
1 KENNEDY DR  
NUTLEY, NJ 07110  
RE: 14 VILLA PLACE REAR

Block-Lot: 3800-32  
THOMPSON, GEORGE F. & PATRICIA  
45 HETHERINGTON RD  
NUTLEY, NJ 07110  
RE: 45 HETHERINGTON ROAD

Block-Lot: 3903-18  
MELCHIONNE, ROCCO & MANUELLA  
86 HAY AVE  
NUTLEY, NJ 07110  
RE: 86 HAY AVENUE

Block-Lot: 3903-17  
PALMIERI, MARC & DAWN MARIE  
84 HAY AVE  
NUTLEY, NJ 07110  
RE: 84 HAY AVENUE

Block-Lot: 3903-16  
MOYANO, GERARD W+PEREIRA, CLAUDINA  
78 HAY AVENUE  
NUTLEY, NJ 07110  
RE: 78 HAY AVENUE

Block-Lot: 3903-15  
ZAZZALI, LYNN  
72 HAY AVE  
NUTLEY, NJ 07110  
RE: 72 HAY AVENUE

Block-Lot: 3801-1  
CAITHNESS, DAVID N. & FIONA T.  
68 HAY AVE  
NUTLEY, NJ 07110  
RE: 68 HAY AVENUE

Block-Lot: 3800-1  
TOWNSHIP OF NUTLEY  
1 KENNEDY DR  
NUTLEY, NJ 07110  
RE: HETHERINGTON ROAD REAR

Block-Lot: 3801-33  
POCH, ADAM & FARA  
64 HAY AVE  
NUTLEY, NJ 07110  
RE: 64 HAY AVENUE

Block-Lot: 3801-32  
VOLPE, JOHN L. JR.  
62 HAY AVE  
NUTLEY, NJ 07110  
RE: 62 HAY AVENUE

Block-Lot: 3905-7  
CERVASIO, LARRY  
91 HAY AVE  
NUTLEY, NJ 07110  
RE: 91 HAY AVENUE

Block-Lot: 3905-8  
CLARKE, MARGARET L.  
89 HAY AVE  
NUTLEY, NJ 07110  
RE: 89 HAY AVENUE

Block-Lot: 3905-9  
VELTRE, JOHN & MELISSA  
85 HAY AVE  
NUTLEY, NJ 07110  
RE: 85 HAY AVENUE

Block-Lot: 3905-10  
LIKOS, NICHOLAS & JANINE  
81 HAY AVE  
NUTLEY, NJ 07110  
RE: 81 HAY AVENUE

Block-Lot: 3904-12  
VOLPE, MICHELINA  
40 VILLA PL  
NUTLEY, NJ 07110  
RE: 40 VILLA PLACE

Block-Lot: 3905-4  
P.J.'S ON WASHINGTON, INC.  
274 WASHINGTON AVE  
NUTLEY, NJ 07110  
RE: 274 WASHINGTON AVENUE

Block-Lot: 3904-13  
LEHMAN, THOMAS & GAIL  
71 HAY AVE  
NUTLEY, NJ 07110  
RE: 71 HAY AVENUE

Block-Lot: 3904-14  
KUNZ, RICHARD P. & SAMANTHA  
67 HAY AVE  
NUTLEY, NJ 07110  
RE: 67 HAY AVENUE

Block-Lot: 3800-4  
SUSSKO, RICHARD J. & MARTINA  
65 HAY AVE  
NUTLEY, NJ 07110  
RE: 65 HAY AVENUE

Block-Lot: 3800-5  
MARSELLA, GAIL P.  
61 HAY AVE  
NUTLEY, NJ 07110  
RE: 61 HAY AVENUE

Block-Lot: 3800-6  
KONAPAKA, WILLIAM D. & MARGARET R.  
57 HAY AVE  
NUTLEY, NJ 07110  
RE: 57 HAY AVENUE

Block-Lot: 3905-11  
DE KOVESSEY, ERIC J. & JANE M.  
31 VILLA PL  
NUTLEY, NJ 07110  
RE: 31 VILLA PLACE

Block-Lot: 3800-7  
KORDAS, ROBERT J. & JANINE J.  
53 HAY AVE  
NUTLEY, NJ 07110  
RE: 53 HAY AVENUE

Block-Lot: 3800-8  
CARISSIMO, MIKE & ELLEN  
51 HAY AVE  
NUTLEY, NJ 07110  
RE: 51 HAY AVENUE

Block-Lot: 3904-11  
TOWNSHIP OF NUTLEY  
1 KENNEDY DR  
NUTLEY, NJ 07110  
RE: HAY AVENUE REAR

Block-Lot: 3800-3  
TOWNSHIP OF NUTLEY  
1 KENNEDY DR  
NUTLEY, NJ 07110  
RE: HETHERINGTON ROAD REAR



**TOWNSHIP OF NUTLEY, NEW JERSEY**  
**ZONING BOARD OF ADJUSTMENT**  
**PLANNING BOARD**

**CERTIFICATION OF PROPERTY OWNERS WITHIN 200 FEET**

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Docket Number: ZBA-20-0015

Work Site Location: 26 Villa Place

Applicant: B&C Capital LLC

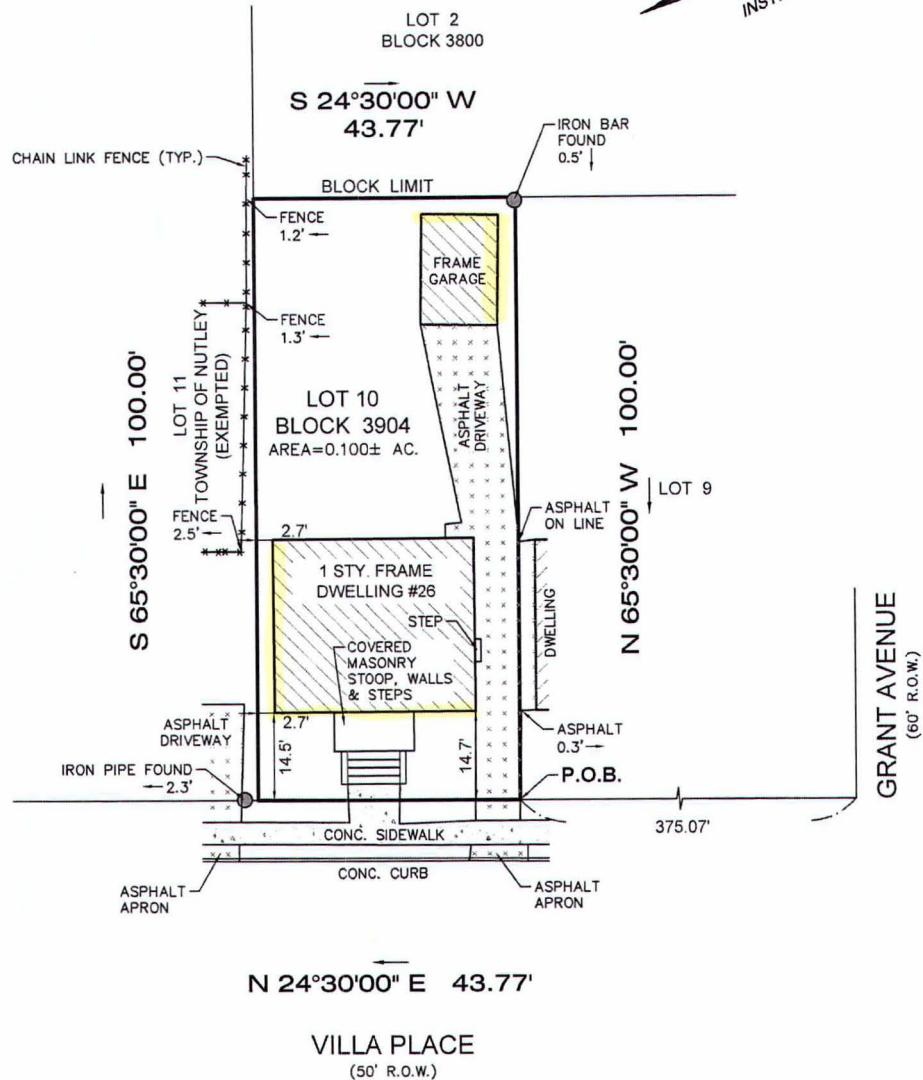
I do hereby certify to the ownership of the properties listed on pages

1 to 2, as of 4/10/2020.

*Antonette DeBlasio*

\_\_\_\_\_  
ANTONETTE DEBLASIO  
Technical Assistant/ZBA-PB  
Township of Nutley, NJ





PREPARED FOR: *ALL COUNTY CUSTOM HOMES LLC*  
TITLE INSURER: *REALSAFE TITLE, LLC (97138RN-01)*  
*TITLE RESOURCES GUARANTY COMPANY*

DISCUSSION TOPIC:  
ASPHALT CROSSES BOUNDARY LINE  
BETWEEN SUBJECT LOT AND ADJ. LOT 9.

**IMPORTANT NOTES, PLEASE REVIEW:**

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 3/2/20 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

INST. # 2020002352

CERTIFICATE OF AUTHORIZATION: 24GA28229800

**MORGAN**  
engineering & surveying

P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691  
www.morganengineeringllc.com

## SURVEY OF PROPERTY

LOT 10 BLOCK 3904

TOWNSHIP OF NUTLEY

COUNTY OF ESSEX

NEW JERSEY

**DAVID J. MON STEENBURG**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. No. 34500

Scale: 1"=20'	Drawn By: CJF	Date: 3/2/20	JOB #: 20-01824	CAD File #: 20-01824cjf	Sheet #: 1 OF 1
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NEW ADDITION / RENOVATION FOR:  
**MR. & MRS. BILLINGS**  
26 VILLA PLACE  
NUTLEY, NJ 07110

LIST OF DRAWINGS

- A-0 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 FOUNDATION PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 ELEVATIONS
- A-6 GARAGE PLANS

WILLIAM G. BROWN ARCHITECTS CALCULATES LIVEABLE SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQAURE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVEABLE SQUARE FOOTAGE. STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

**BUILDING DATA**

USE GROUP	R5
CONSTRUCTION CLASS	VB

BUILDING AREA

EX'G BUILDING FOOTPRINT	1,032	SQFT
NEW BUILDING FOOTPRINT	371	SQFT
TOTAL BUILDING FOOTPRINT	1,403	SQFT

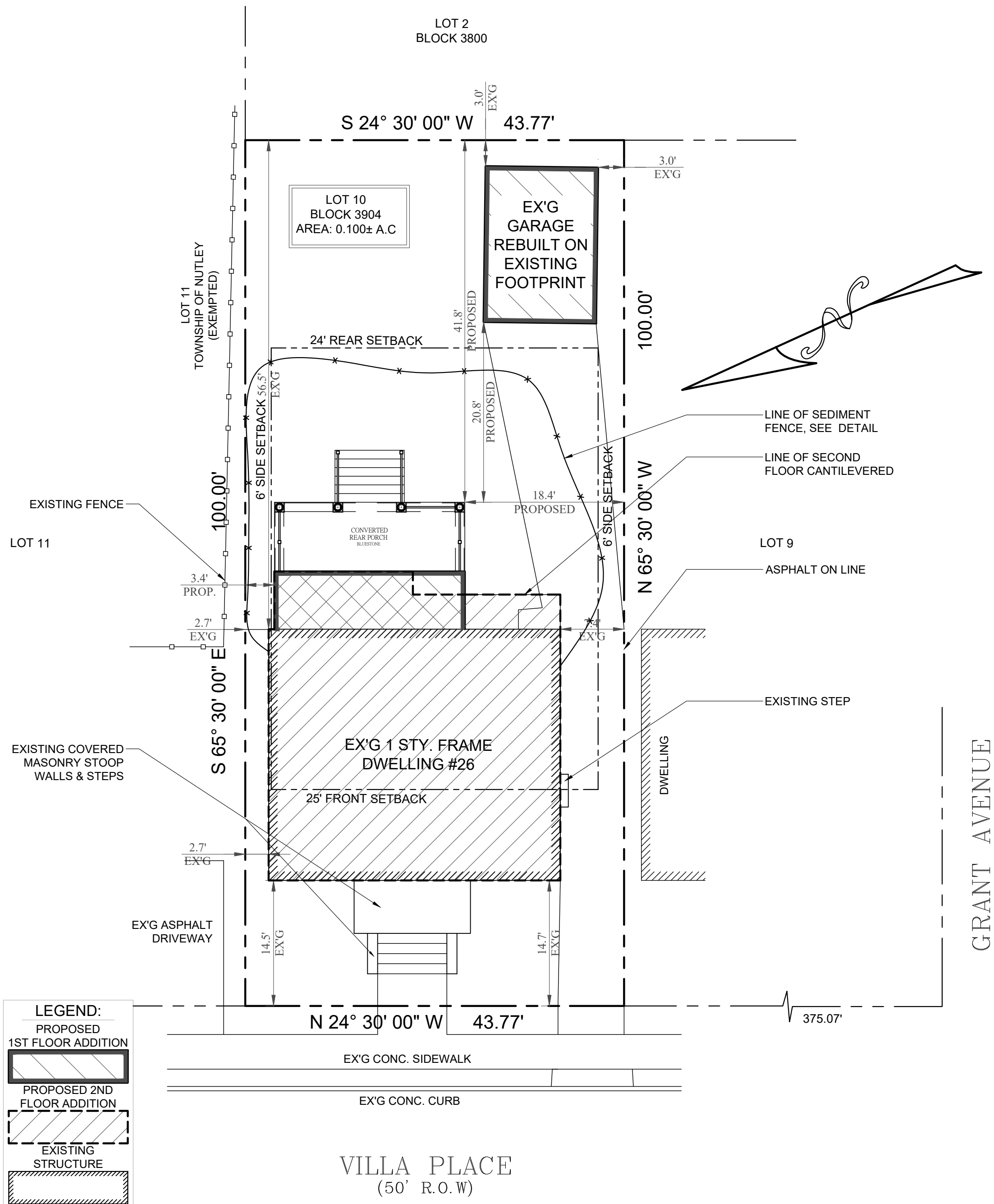
EX'G BASEMENT	789	SQFT
NEW BASEMENT	119	SQFT

EX'G FIRST FLOOR	866	SQFT
NEW FIRST FLOOR	137	SQFT

EX'G SECOND FLOOR	0	SQFT
NEW SECOND FLOOR	1,056	SQFT

EX'G LIVABLE SFTG.	866	SQFT
NEW LIVABLE SFTG.	1,193	SQFT
TOTAL LIVABLE SFTG.	2,059	SQFT

NEW CONTAINED VOLUME	18,932	CUFT
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SITE PLAN

SCALE: 1"=10'

GRADE DRAINAGE SLOPE:

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET , AS PER R401.3.

SEQUENCE OF CONSTRUCTION:

1. INSTALL SILT FENCE / SEDIMENT BARRIERS AT LOCATION SHOWN ON PLAN. CLEAR, SITE AND STOCKPILE TOPSOIL.
2. REMOVE EXISTING IMPROVEMENTS
3. EXCAVATE AND INSTALL FOUNDATION
4. CONNECT UTILITIES, AND COMPLETE GARAGE CONSTRUCTION
5. TOPSOIL AND SEED, PERMANENTLY STABILIZED ALL DISTURBED AREAS
6. INSTALL FINAL PAVEMENT SURFACE COURSE, REMOVE SILT FENCE AND PERMANENTLY STABILIZING ANY REMAINING DISTURBED AREA.

GRADE NOTE

ALL EXISTING GRADES TO REMAIN

TREE REMOVAL

NO EXISTING TREES TO BE REMOVED FOR NEW GARAGE

LOT COVERAGE

STRUCTURE	EXISTING	AREA
EX'G BUILDING FOOTPRINT	906	SQFT
EX'G OPEN PORCH WITH STAIRS	+	126 SQFT
EX'G DETACHED GARAGE	+	234 SQFT
TOTAL EX'G LOT COVERAGE	=	1,266 SQFT = 28.01%
PROPOSED		
EX'G LOT COVERAGE	1,266	SQFT
NEW BUILDING FOOTPRINT	+	147 SQFT
NEW COVERED PORCH WITH STAIRS	+	224 SQFT
TOTAL NEW LOT COVERAGE	=	1,637 SQFT = 37.40%

IMPERVIOUS COVERAGE

STRUCTURE	EXISTING	AREA
EX'G LOT COVERAGE	1,266	SQFT
EX'G DRIVEWAY	+	715 SQFT
EX'G PAVED AREA	+	30 SQFT
TOTAL EX'G IMPERVIOUS COVERAGE	=	2,011 SQFT = 47.64%
PROPOSED		
EX'G IMPERVIOUS COVERAGE	2,011	SQFT
NEW BUILDING FOOTPRINT	+	147 SQFT
NEW COVERED PORCH WITH STAIRS	+	224 SQFT
TOTAL NEW IMPERVIOUS COVERAGE	=	2,382 SQFT = 56.29%

TOWNSHIP OF NUTLEY

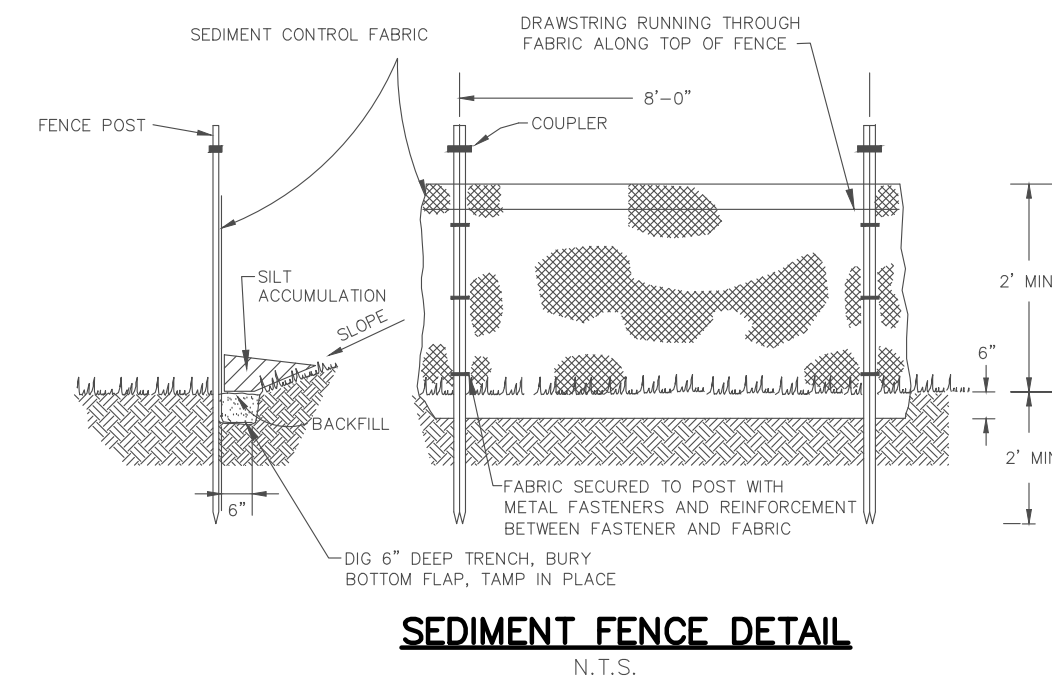
LOT: 10  
BLOCK: 3904  
ZONE: R-1 Residential One-Family  
USE: 1 - Family Dwelling

BULK REQUIREMENTS:				
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
LOT INFORMATION:				
LOT AREA (ft²)	5,000	4,377	N/A	ENC
LOT WIDTH (ft)	50	43.77	N/A	ENC
LOT DEPTH (ft)	100	100	N/A	NO
MAX. LOT COVERAGE (%)	35.00	28.01	37.40	YES
MAX. IMPERVIOUS COVERAGE (%)	70.00	45.94	54.42	NO

PRINCIPAL BUILDING INFORMATION:				
FRONT SIDE YARD (ft)	25	14.5	14.5	ENC
REAR SIDE YARD (ft)	24	56.5	41.8	ENC
ONE SIDE YARD (ft) - LEFT	3	2.7	3.4	ENC
SIDE OTHER YARD (ft) - RIGHT	3	7.4	18.4	NO
HEIGHT (ft)	30	24.67	29.16	NO
HEIGHT (stories)	2.5	1.5	2	NO

ACCESSORY BUILDING:				
LOCATION FROM MAIN BUILDING (ft)	10	35.5	20.8	NO
REAR SIDE YARD (ft)	6	3.0	3.0	ENC
SIDE YARD (ft)	6	3.0	3.0	ENC
HEIGHT (ft)	14	13.88	13.88	NO
HEIGHT (stories)	1	1	1	NO

N/A = NOT AFFECTED BY THIS WORK  
ENC = EXISTING NONCONFORMING



SEDIMENT FENCE DETAIL  
N.T.S.

SITE PLAN DRAWN FROM SURVEY TAKEN BY:  
DAVID J. VON STEENBURG (LIC. NO. 34500)  
PROFESSIONAL LAND SURVEYOR  
MORGAN ENGINEERING & SURVEYING  
DATED: 03/02/20  
SITE PLAN TO BE USED FOR ZONING AND  
ARCHITECTURAL PURPOSES ONLY.

**William G. Brown, Architects**  
**ARCHITECTURE**  
**PLANNING**  
**241 Madison Avenue**  
**Wyckoff, NJ**  
**07481**  
**PH: 201-891-3285**  
**FAX: 201-891-3695**  
**WEBSITE: WilliamGBrown.com**  
**EMAIL: bill@williamgbrown.com**

COVER SHEET

ADDITION / RENOVATION FOR:  
MRS. ALMA BILLINGS  
26 VILLA PLACE  
NUTLEY, NJ 07110

PROJECT: 20-209 DATE: MARCH 5, 2020; MARCH 27, 2020  
DRAWN BY: LR/AG

ISSUED FOR PERMIT: MAY 20, 2020

THESE DRAWINGS ARE  
NOT TO BE REPRODUCED  
IN ANY MANNER WITHOUT  
THE EXPRESS WRITTEN  
AUTHORIZATION OF THE  
ARCHITECT WILLIAM G.  
BROWN.

CT ARCH 8445  
NY ARCH 018837  
NJ ARCH 10226  
PA ARCH RA-011586-B  
VA ARCH RA-007125  
NJ PLANNER

NOT VALID UNLESS SIGNED AND SEALED

**WILLIAM G. BROWN, JR., AIA**

A-0 ZONING REVIEW

GENERAL NOTES

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF NUTLEY, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 30'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY , IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

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VA ARCH RA-007125  
NJ PLANNER

ADDITION / RENOVATION FOR:  
MR. AND MRS. BILLINGS  
26 VILLA PLACE  
NUTLEY, NJ  
BLOCK 3904 LOT 10

DRAWING TITLE:  
**FRONT & SIDE ELEVATIONS**  
PROJECT NUMBER: 20-209 SCALE: 1/4"= 1'-0"  
DRAWN BY: LO / AG CHECKED BY: SUPV  
DATE:  
MARCH 10, 2020; MARCH 15, 2020

ISSUED FOR PERMIT: MAY 20, 2020

DRAWING #

A-1  
2 OF 6

RES  
2019

DRIP EDGE NOTE:

DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

KICK OUT FLASHING:

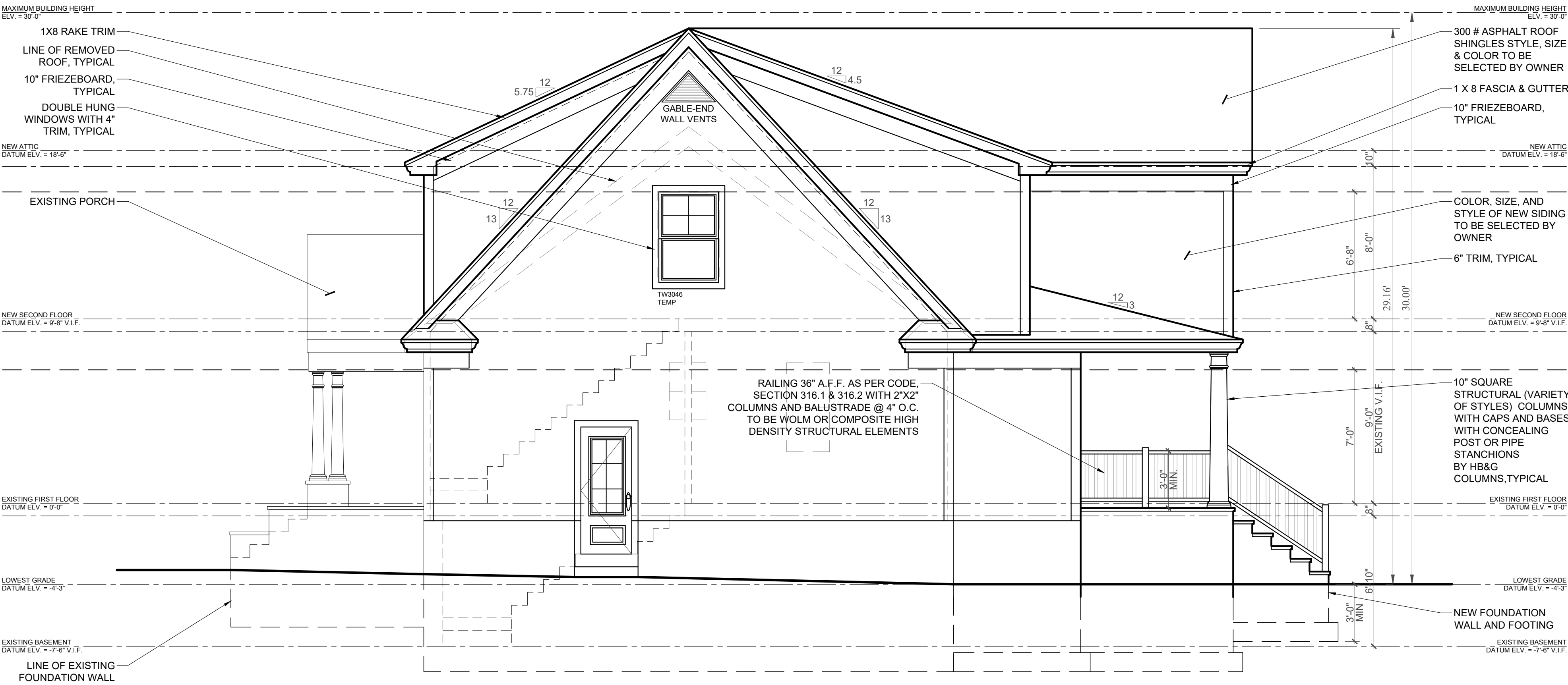
KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

NOTE;  
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER



FRONT ELEVATION

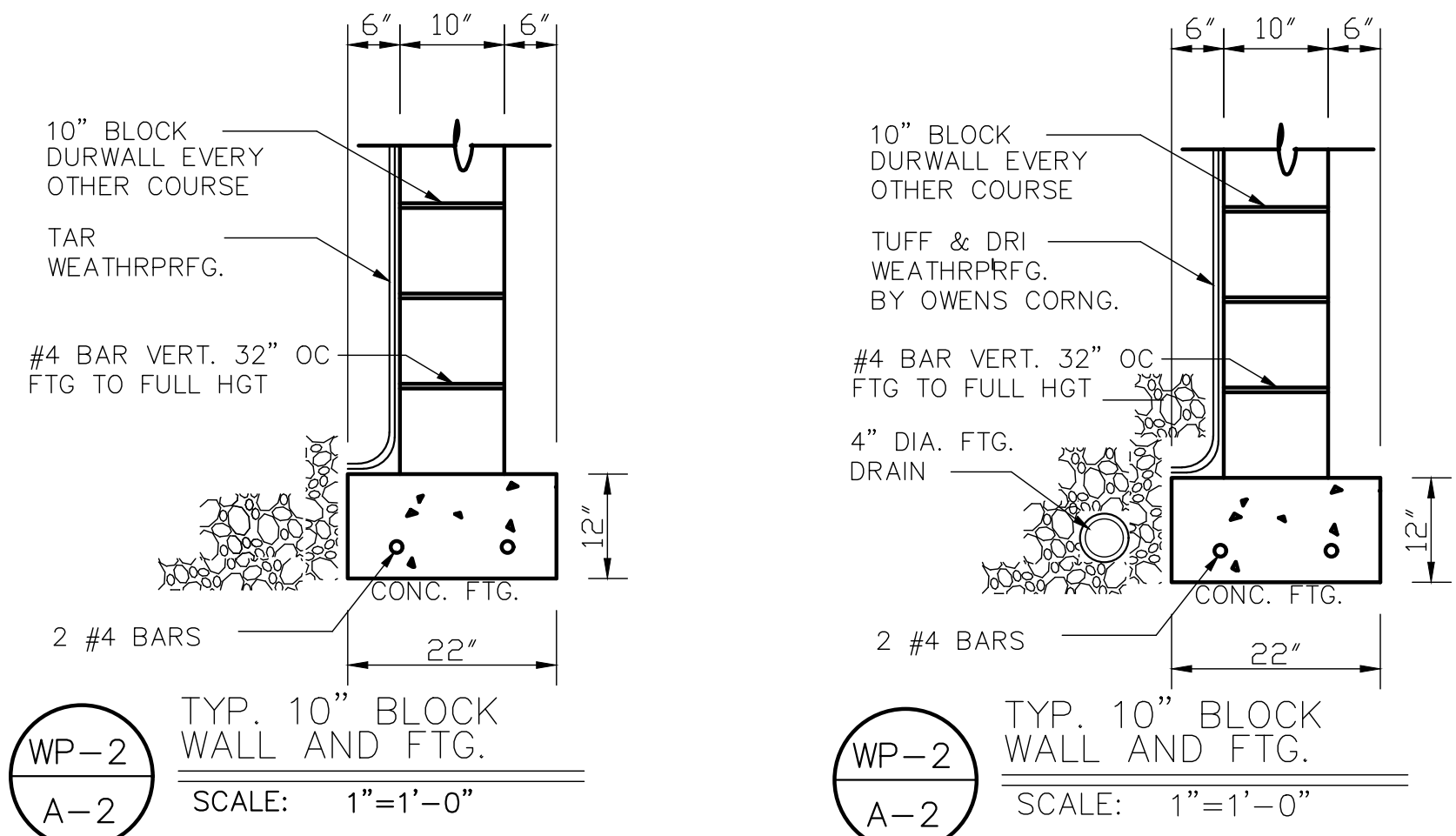
SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"





**BACKFILL NOTE:**  
REINFORCING CALCULATED BASED ON 10'-0" HIGH WALL WITH 9'-0" BACKFILL OR 9'-0" WALL WITH 8'-0" BACKFILL. WHERE CONDITIONS DIFFER, FOUND. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLES R404.1(1-4) OF THE IRC.

#### INSULATION NOTES:

- R-20 INSULATION IN 6" EXTERIOR WALLS
- R-30 BATT INSULATION IN ALL FLOORS WHICH INCLUDES BASEMENT
- R-49 CEILING OR RAFTERS OR ADJACENT TO THE EXTERIOR OR TO UNHEATED SPACES
- BASEMENT CEILINGS TO BE 1/2" SHEET ROCK
- R-19 BATT INSULATION IN BASEMENT WALLS

PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS IN MASONRY WALLS, INCLUDING MECHANICAL OPENINGS UNLESS OTHERWISE NOTED:

FOR EACH 4" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

4 X 3 1/2 X 3/8 L MAX. M.O. 5'-0"  
5 X 3 1/2 X 3/8 L MAX. M.O. 7'-0"  
6 X 3 1/2 X 3/8 L MAX. M.O. 9'-0"

FOR EACH 6" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

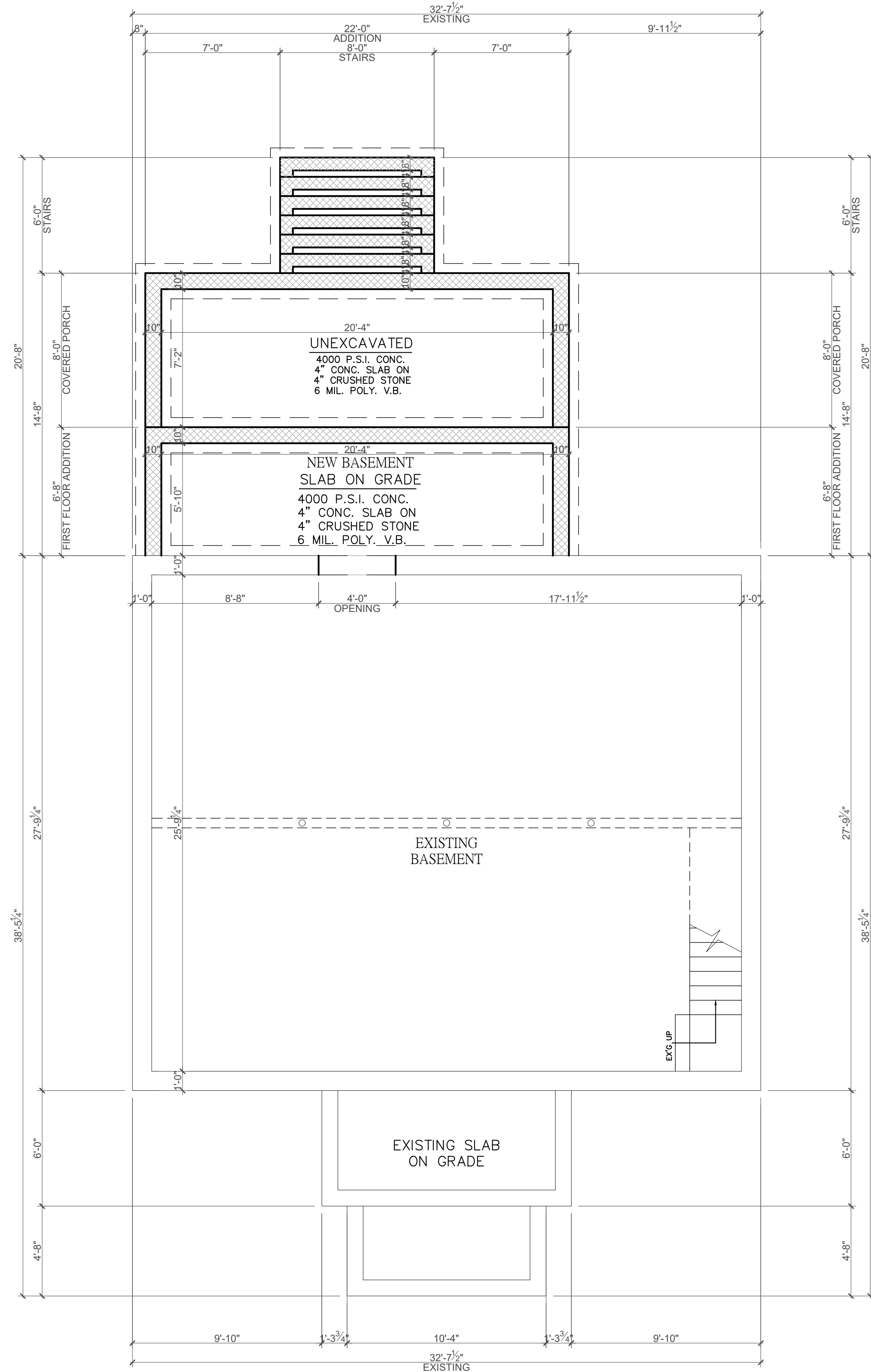
3 1/2 X 5 X 3/8 L MAX. M.O. 5'-0"  
5 X 5 X 3/8 L MAX. M.O. 7'-0"  
5 X 5 X 3/8 L MAX. M.O. 9'-0"

FOR 4" AND/OR 6" NON-BEARING MASONRY INTERIOR PARTITIONS:

4" 3 3/4 X 7 1/2 LIGHT-WEIGHT CONCRETE  
6" 6 5/8 X 7 1/2 LIGHT-WEIGHT CONCRETE

ALL LINTELS TO HAVE MINIMUM 8" BEARING EACH END.

SUBMIT THREE SETS OF FABRICATION DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF FABRICATION.



#### FOUNDATION PLAN

SCALE: 1/4"=1'-0"

#### GENERAL FRAMING LEGEND :

- = EXISTING CONSTRUCTION TO REMAIN
- - - - - = WALLS ABOVE
- = NEW CONSTRUCTION
- = NEW C.M.U. WALL
- = NEW CONCRETE WALL
- = NEW BEAM
- = NEW JOIST MEMBER

#### GRADE DRAINAGE SLOPE:

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET , AS PER R401.3.

MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

#### CONCRETE & MASONRY NOTES

- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID. ANCHOR BOLTS TO BE 1/2" DIAMETER AND INSTALLED AT 4'-0" O.C MIN..
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN.DEPTH OF 36"IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2015 SECTION R11.3
- CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE EMBEDDED 7" MIN. INTO FOUNDATION WALL, 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1

8"x16" LOUVERED VENT=128 SQ INCH

#### STAIR NOTES

- STAIR SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT PRIOR TO FABRICATION
- STAIRS TO HAVE A MAX. RISER OF 8 1/4" AND A MIN. TREAD OF 9" AS PER R311 AND R311.7.7
- CONTRACTOR TO PROVIDE PULL DOWN STAIR UNIT ON SECOND FLOOR

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ADDITION / RENOVATION FOR:  
MR. AND MRS. BILLINGS  
26 VILLA PLACE  
NUTLEY, NJ  
BLOCK 3904 LOT 10

DRAWING TITLE:

FOUNDATION PLAN

PROJECT NUMBER: 20-209 SCALE: 1/4"= 1'-0"

DRAWN BY: LO / AG CHECKED BY: SUPV

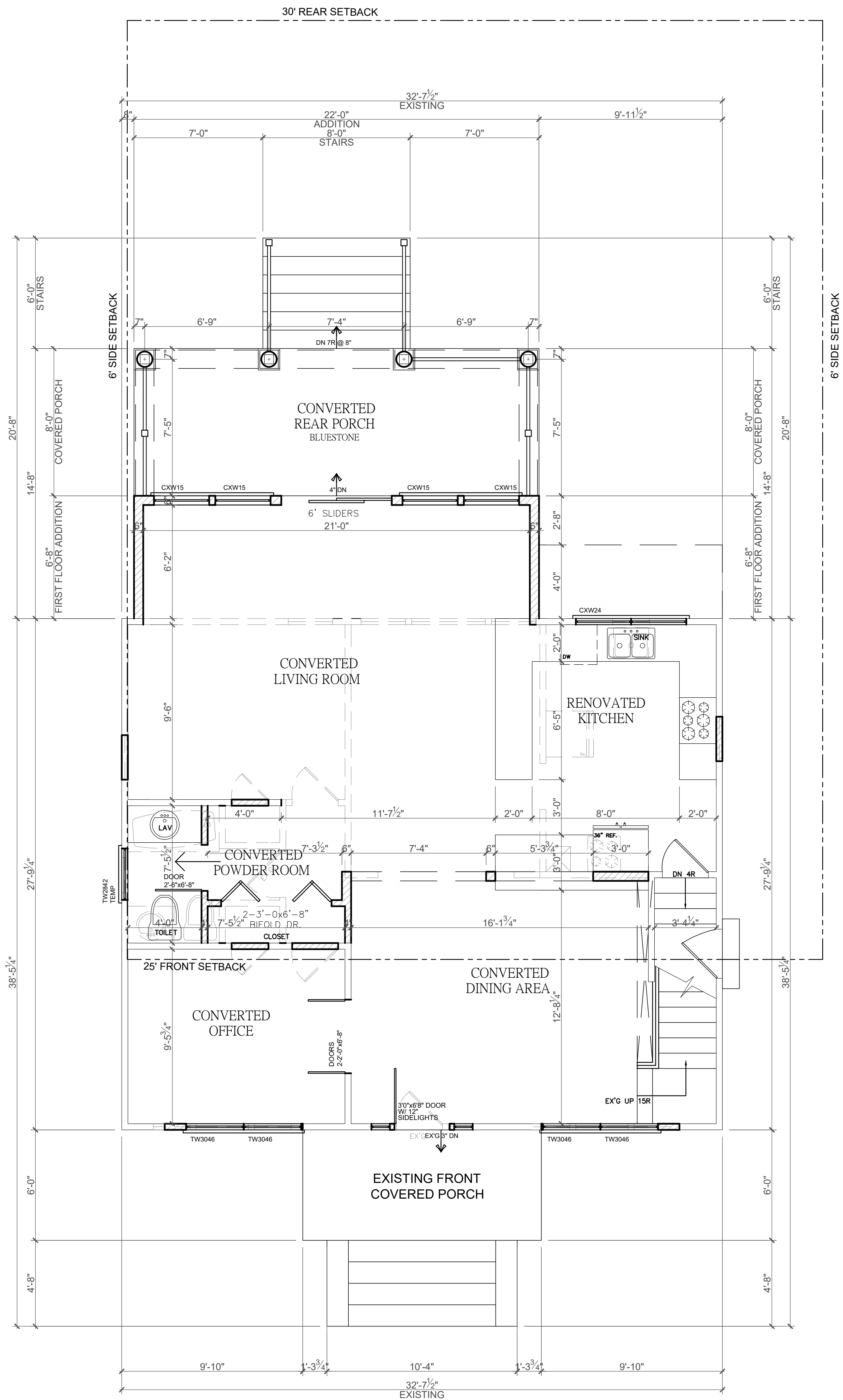
DATE:  
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ISSUED FOR PERMIT: MAY 20, 2020

DRAWING #

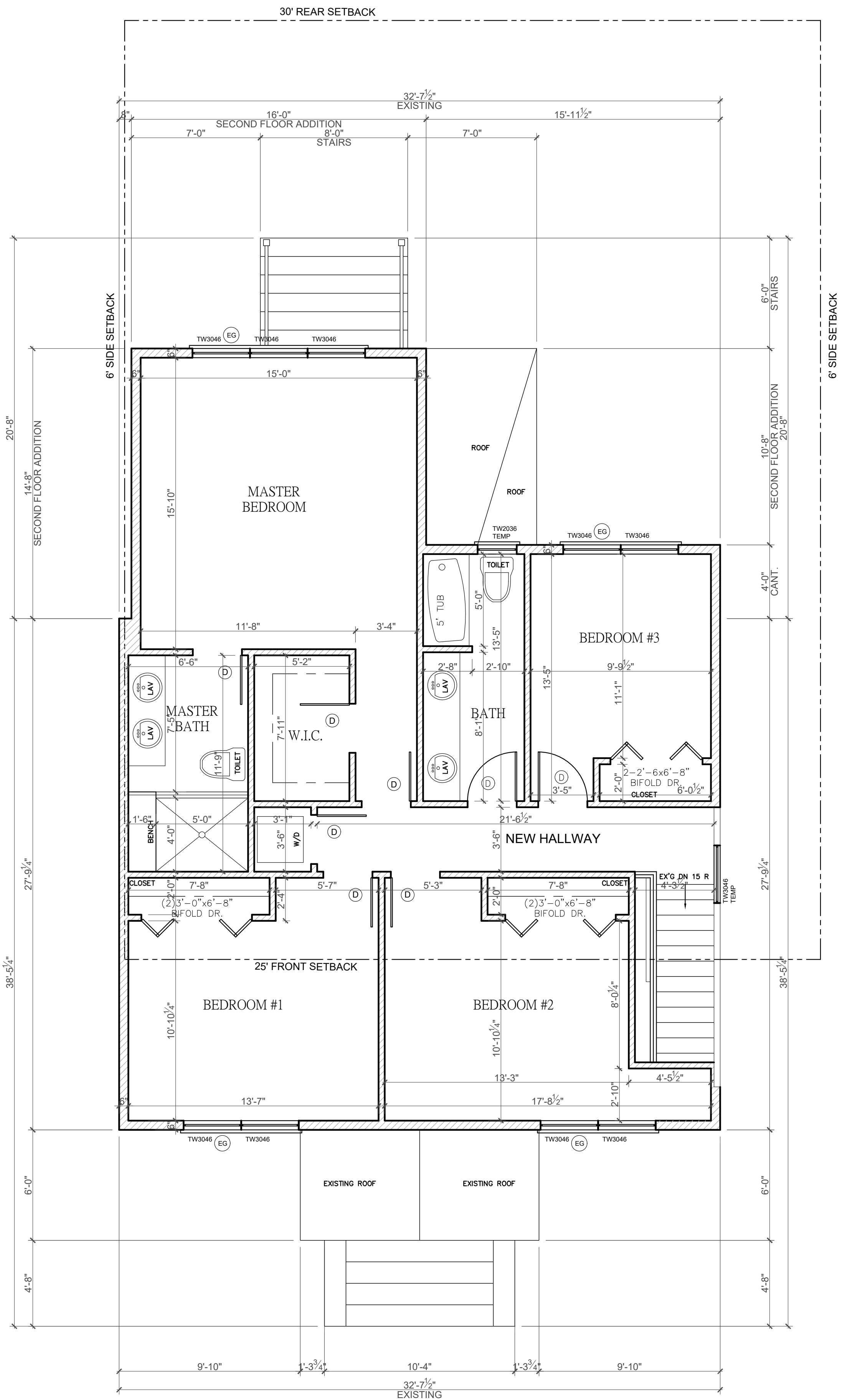
A-2  
3 OF 6

RES  
2019



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

## ENERGY STAR REQUIREMENTS

WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST

1. ENERGY EFFICIENT LIGHTING: SEE [www.njenergystarhomes.com](http://www.njenergystarhomes.com)
2. MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
3. HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PRE ACCA MANUAL J
4. AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
5. INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
6. CONTRACTOR TO FOLLOW RESCHECK
7. CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5:23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA		
USE GROUP		R5
CONSTRUCTION CLASS		VB
BUILDING AREA		
EX'G BUILDING FOOTPRINT	1,032	SQFT
NEW BUILDING FOOTPRINT	371	SQFT
TOTAL BUILDING FOOTPRINT	1,403	SQFT
EX'G BASEMENT		
NEW BASEMENT	789	SQFT
NEW BASEMENT	119	SQFT
EX'G FIRST FLOOR		
NEW FIRST FLOOR	866	SQFT
NEW FIRST FLOOR	137	SQFT
EX'G SECOND FLOOR		
NEW SECOND FLOOR	0	SQFT
NEW SECOND FLOOR	1,087	SQFT
EX'G LIVABLE SFTG.		
NEW LIVABLE SFTG.	866	SQFT
NEW LIVABLE SFTG.	1,224	SQFT
TOTAL LIVABLE SFTG.	2,090	SQFT
CONTAINED VOLUME	18,932	CUFT

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VA ARCH RA-007125  
NJ PLANNER

ADDITION / RENOVATION FOR:

MR. AND MRS. BILLINGS  
26 VILLA PLACE  
NUTLEY, NJ  
BLOCK 3904 LOT 10

DRAWING TITLE:

FIRST & SECOND FLOOR PLAN

PROJECT NUMBER: 20-209 SCALE: 1/4"=1'-0"

DRAWN BY: LO / AG CHECKED BY: SUPV

DATE:

MARCH 10, 2020; MARCH 15, 2020

ISSUED FOR PERMIT: MAY 20, 2020

DRAWING #

A-3

4 OF 6

RES  
2019

WINDOW NOTES

- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
- EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
  - WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
  - ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
  - WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
  - CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
  - WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
  - EXCEPTIONS:
    - WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
    - OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
    - OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
    - WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
    - ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
  - IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2015

CHIMNEY NOTE

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEY'S SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITH IN 10'-0". AS PER INT. RES CODE 2015 SEC. R100.3

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ADDITION / RENOVATION FOR:  
MR. AND MRS. BILLINGS  
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NUTLEY, NJ  
BLOCK 3904 LOT 10

DRAWING TITLE:  
**REAR & SIDE ELEVATIONS**  
PROJECT NUMBER: 20-209 SCALE: 1/4"= 1'-0"  
DRAWN BY: LO / AG CHECKED BY: SUPV  
DATE:  
MARCH 10, 2020; MARCH 15, 2020

ISSUED FOR PERMIT: MAY 20, 2020

BUILDING HEIGHT/RIDGE HEIGHT  
TO BE VERIFIED BY SITE ENGINEER PRIOR TO  
CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO  
BE: 30'-0"  
AS PER LOCAL ORDINANCE

DRIP EDGE NOTE:  
  
DRIP EDGE TO BE PROVIDED ON EAVES  
AND RAKES ON ALL SHINGLE ROOFS, AS  
PER R905.2.8.5.

KICK OUT FLASHING:  
  
KICK OUT FLASHING TO BE PROVIDED ON  
ALL AT ROOF FASCIA TO WALL / ROOF  
INTERFACE. AS PER R905.2.8.3

NOTE:  
MIN 6" PROTECTION CLEARANCE FROM  
GRADE AS PER SECTION R317.1 NOTE 5  
WOOD SIDING, SHEATHING AND WALL  
FRAMING ON THE EXTERIOR OF A BUILDING  
HAVING A CLEARANCE OF LESS THAN 6"  
FROM THE GROUND OR LESS THAN 2 INCHES  
MEASURED VERTICALLY FROM CONCRETE  
STEPS, PORCH SLABS, PATIO SLABS AND  
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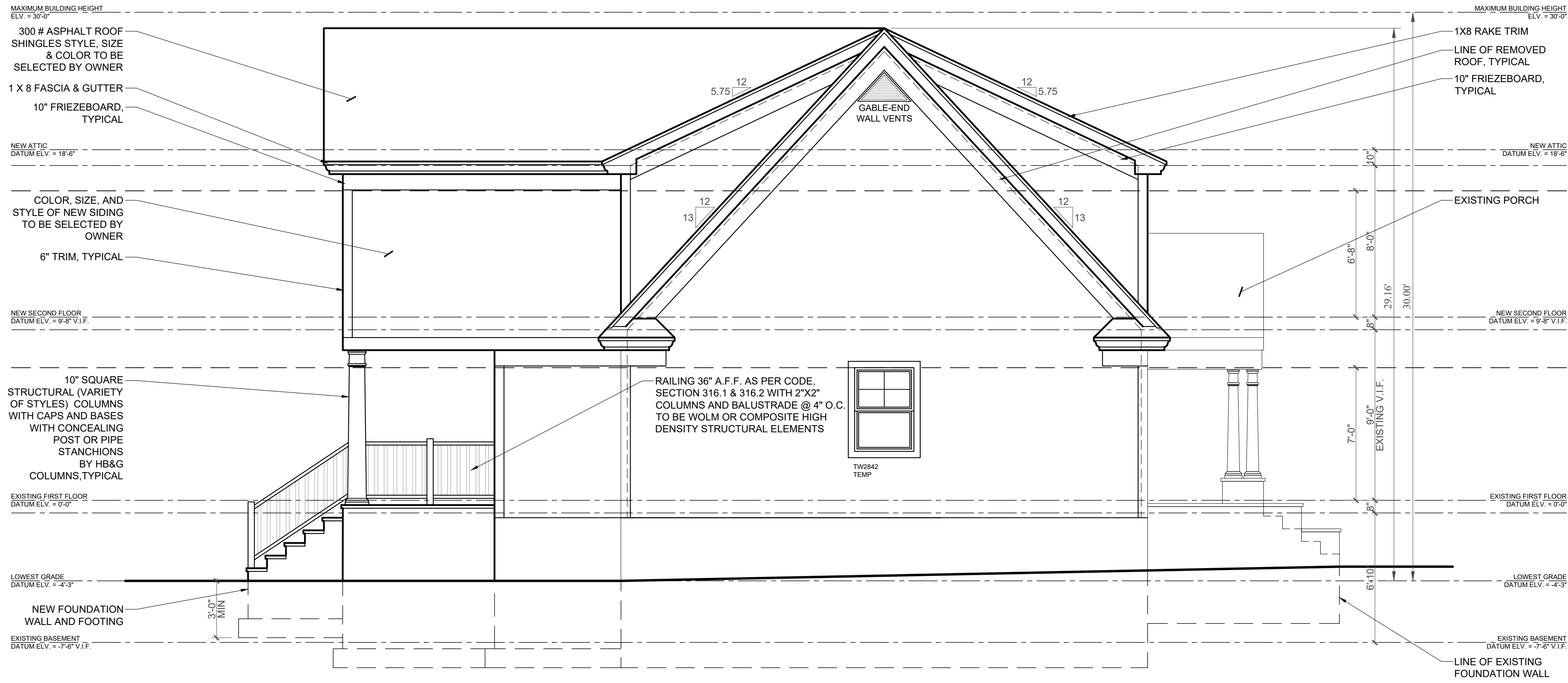
NOTE: WINDOW HEAD HT. MAY BE ADJUSTED  
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GRADE DRAINAGE SLOPE:  
  
LOTS SHALL BE GRADED TO DRAIN  
SURFACE WATER AWAY FROM  
FOUNDATION WALLS. THE GRADE SHALL  
FALL A MINIMUM OF 6 INCHES WITHIN THE  
FIRST 10 FEET , AS PER R401.3.



REAR ELEVATION

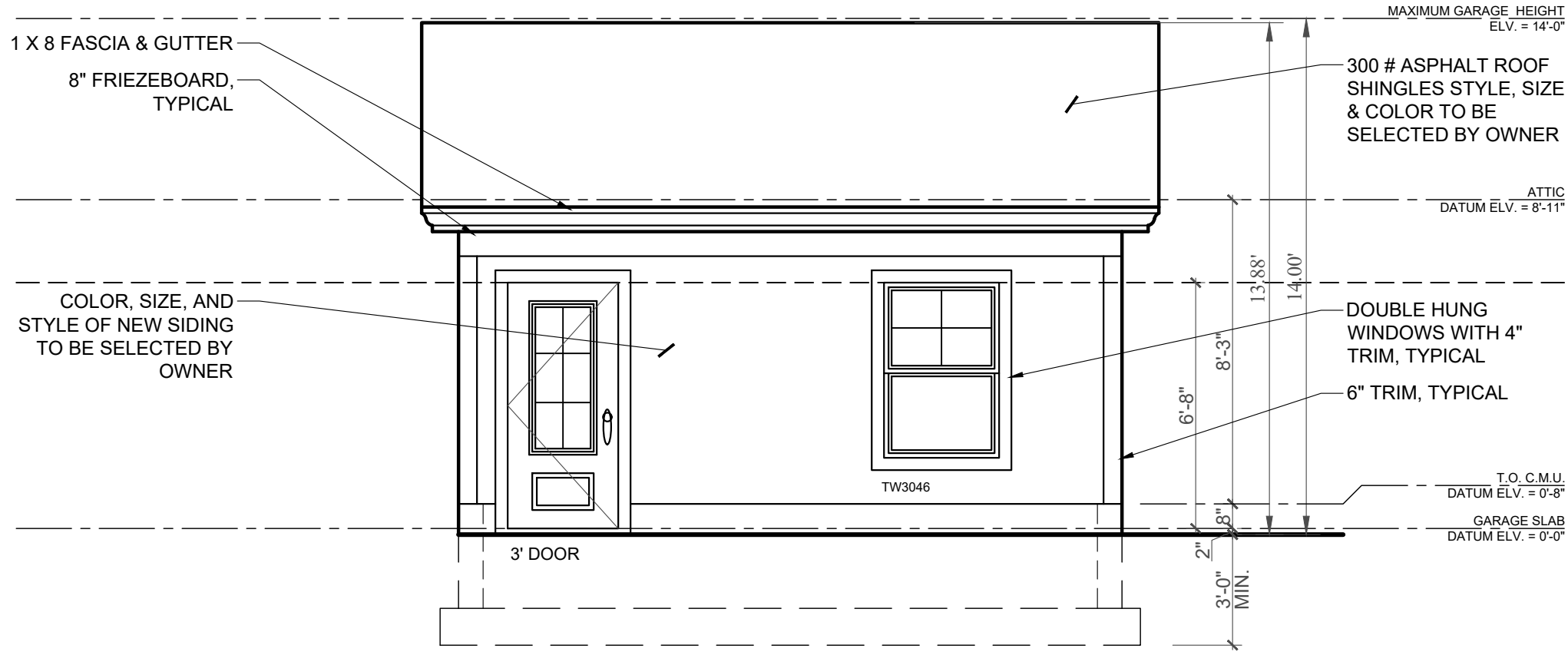
SCALE: 1/4"=1'-0"



LEFT ELEVATION

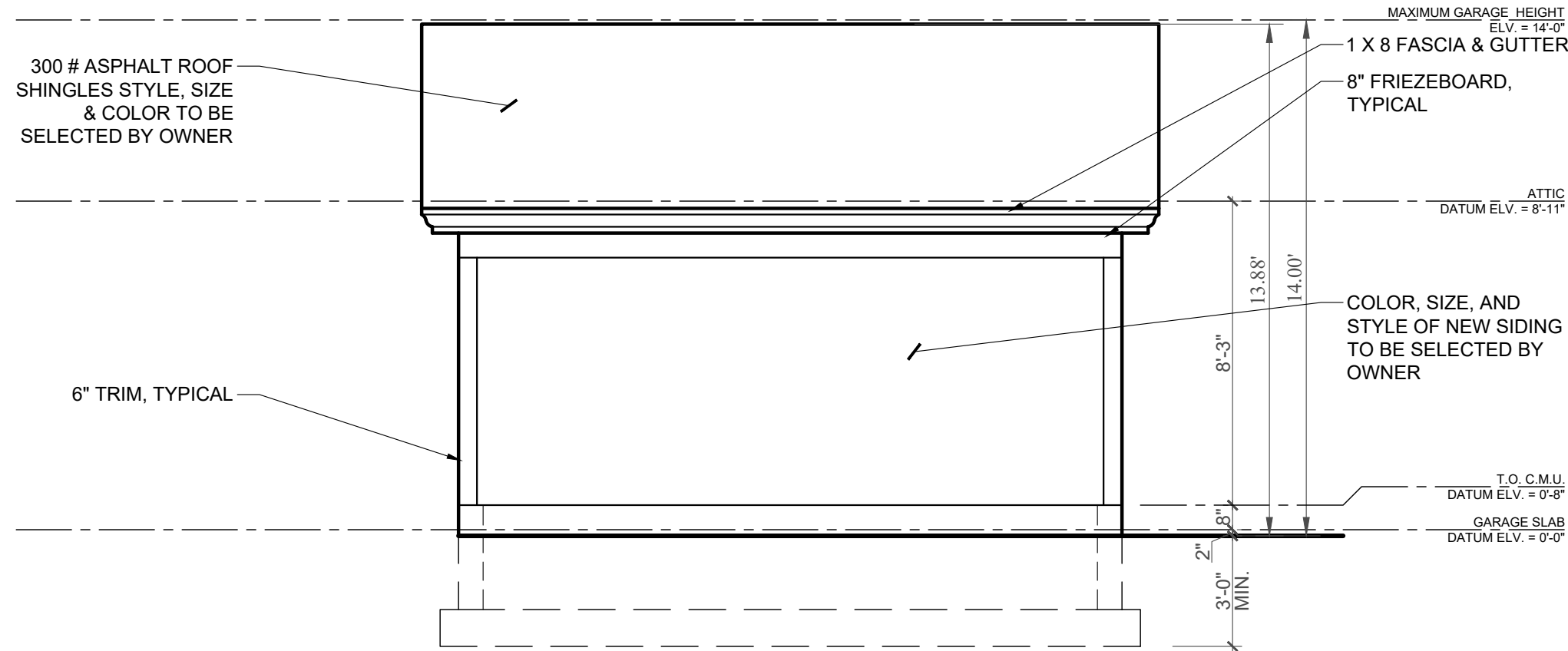
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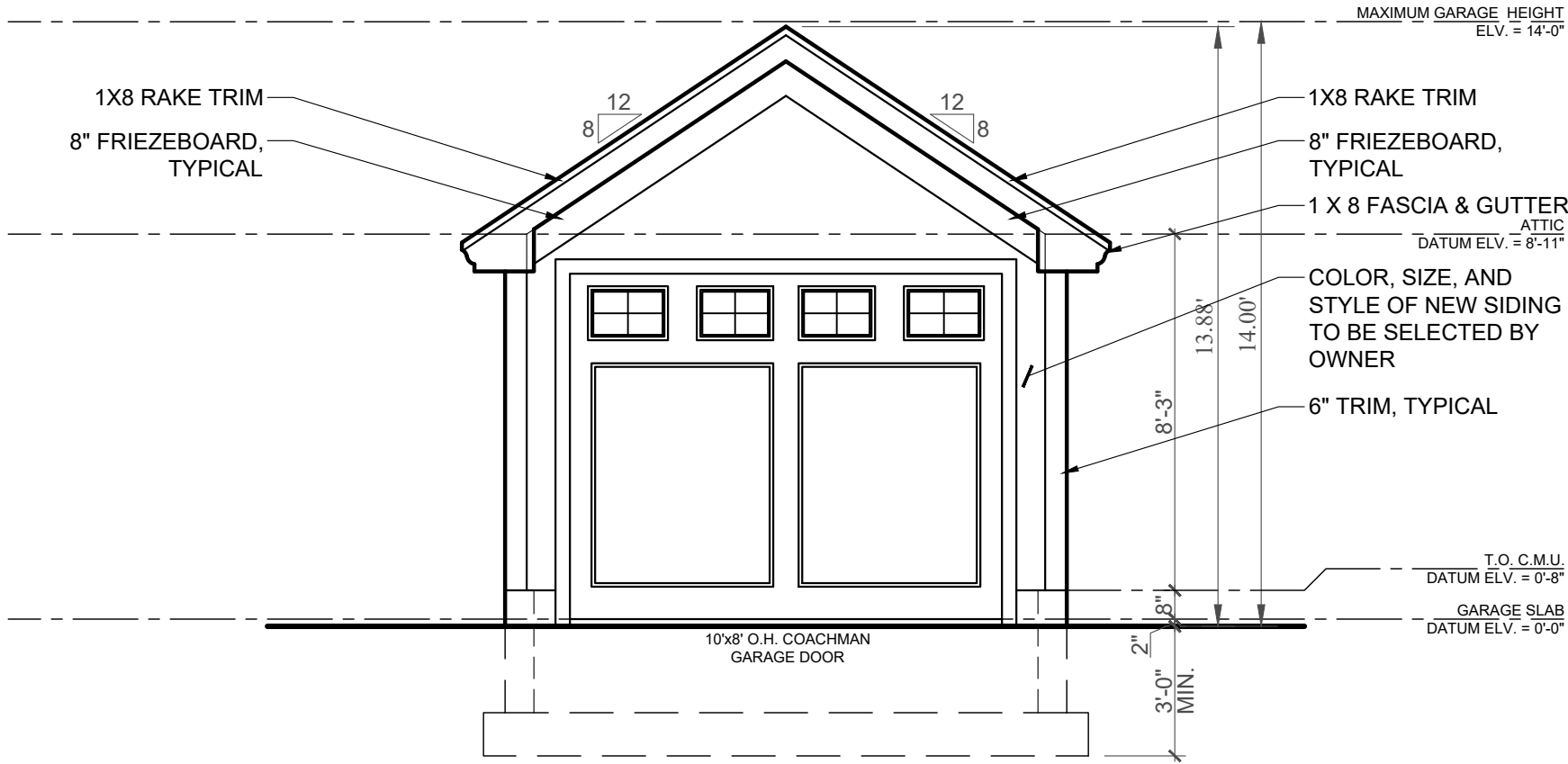
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SCALE: 1/4"=1'-0"



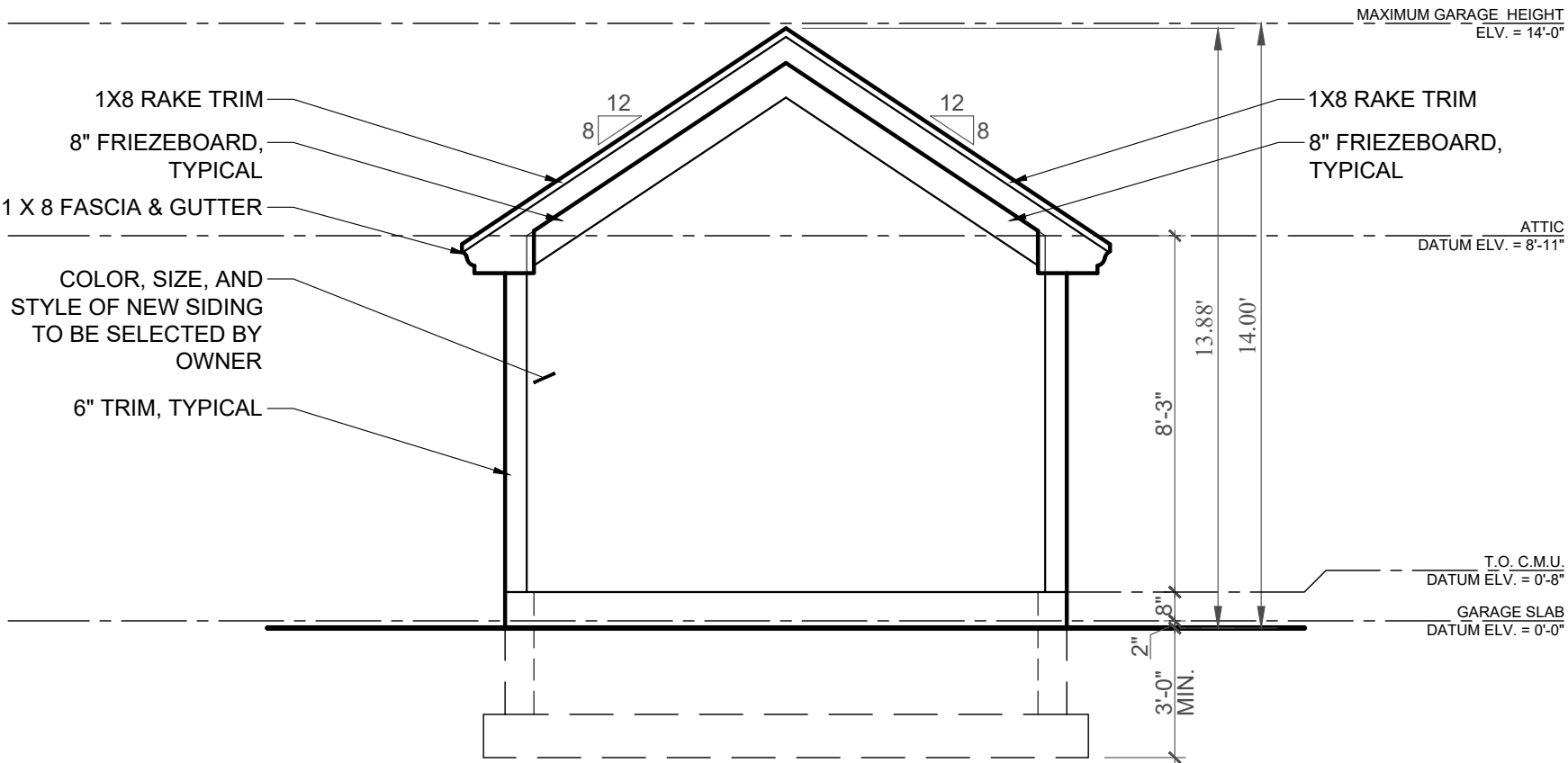
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



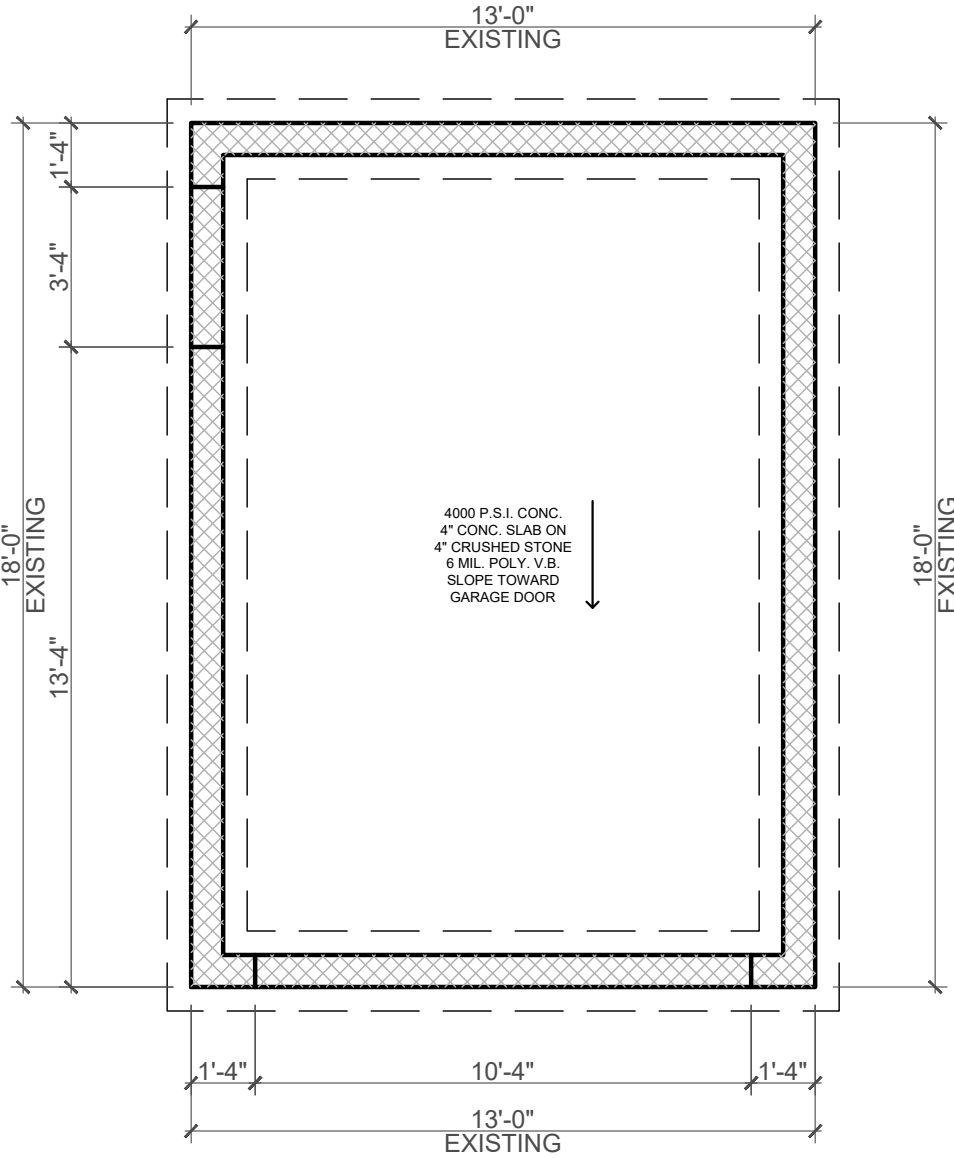
FRONT ELEVATION

SCALE: 1/4"=1'-0"



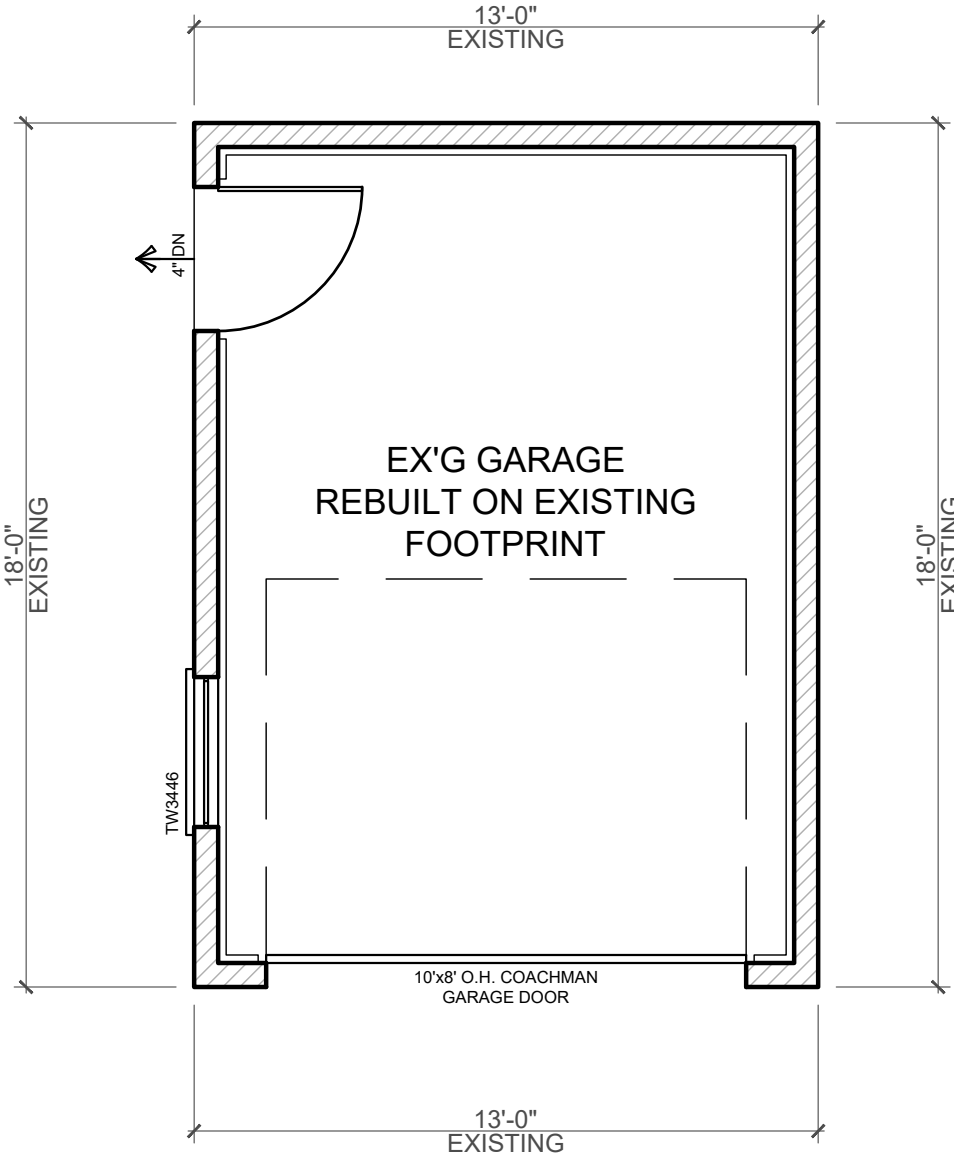
REAR ELEVATION

SCALE: 1/4"=1'-0"



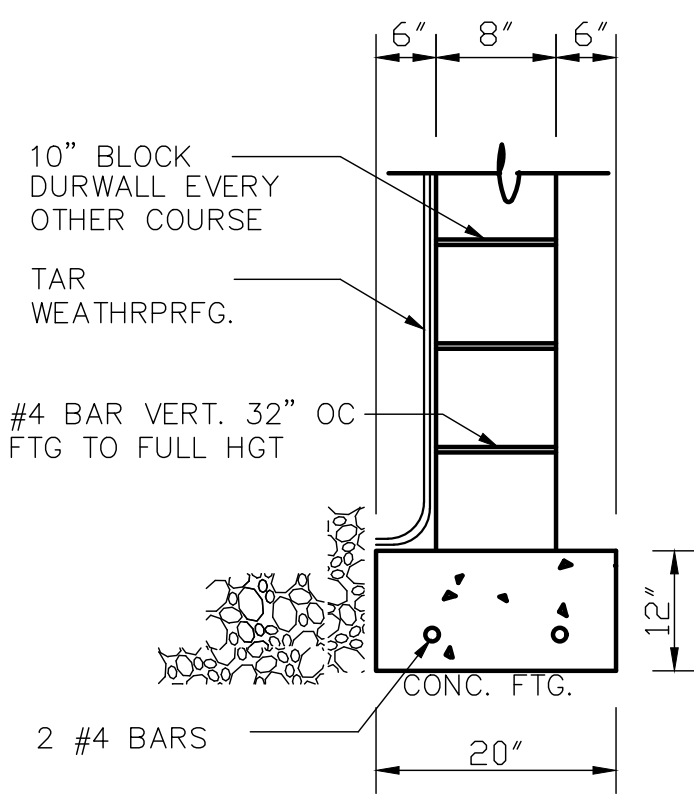
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



WP-2  
A-2  
TYP. 10" BLOCK WALL AND FTG.  
SCALE: 1"=1'-0"

BACKFILL NOTE:  
REINFORCING CALCULATED BASED ON 10'-0" HIGH WALL WITH 9'-0" BACKFILL OR 9'-0" WALL WITH 8'-0" BACKFILL. WHERE CONDITIONS DIFFER, FOUND. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLES R404.1(1-4) OF THE IRC.

GRADE DRAINAGE SLOPE:  
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

GENERAL FRAMING LEGEND :	
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	= WALLS ABOVE
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	= NEW C.M.U. WALL
	= NEW CONCRETE WALL
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BUILDING DATA	
USE GROUP	R5
CONSTRUCTION CLASS	VB
BUILDING AREA	
EX'G GARAGE FOOTPRINT	234 SQFT

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26 VILLA PLACE  
NUTLEY, NJ  
BLOCK 3904 LOT 10

DRAWING TITLE:	FOUNDATION PLAN
PROJECT NUMBER:	20-209
SCALE:	1/4"= 1'-0"
DRAWN BY:	AG
CHECKED BY:	SUPV
DATE:	MARCH 27, 2019;

ISSUED FOR PERMIT: MAY 20, 2020